

GRAM CAFE & PANCAKE (KERRISDALE)

DRAWING LISTS

ID 0.0	COVER & GENERAL NOTES.
ID 1.0	DEMOLITION PLAN.
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PROJECT INFO

PROJECT ADDRESS:	2145 WEST 41st STREET, VANCOUVER, B.C.
LEGAL ADDRESS:	LOT 15, BLOCK 6 PLAN VAP3564, DISTRICT LOT 526 NWD GROUP 1, AMD (SEE E 80928L) OF LOT 2, OF BLOCK 17.
ZONING:	C-2

ARCHITECT



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BURNABY, BC, CANADA
TEL: 604.294.6405

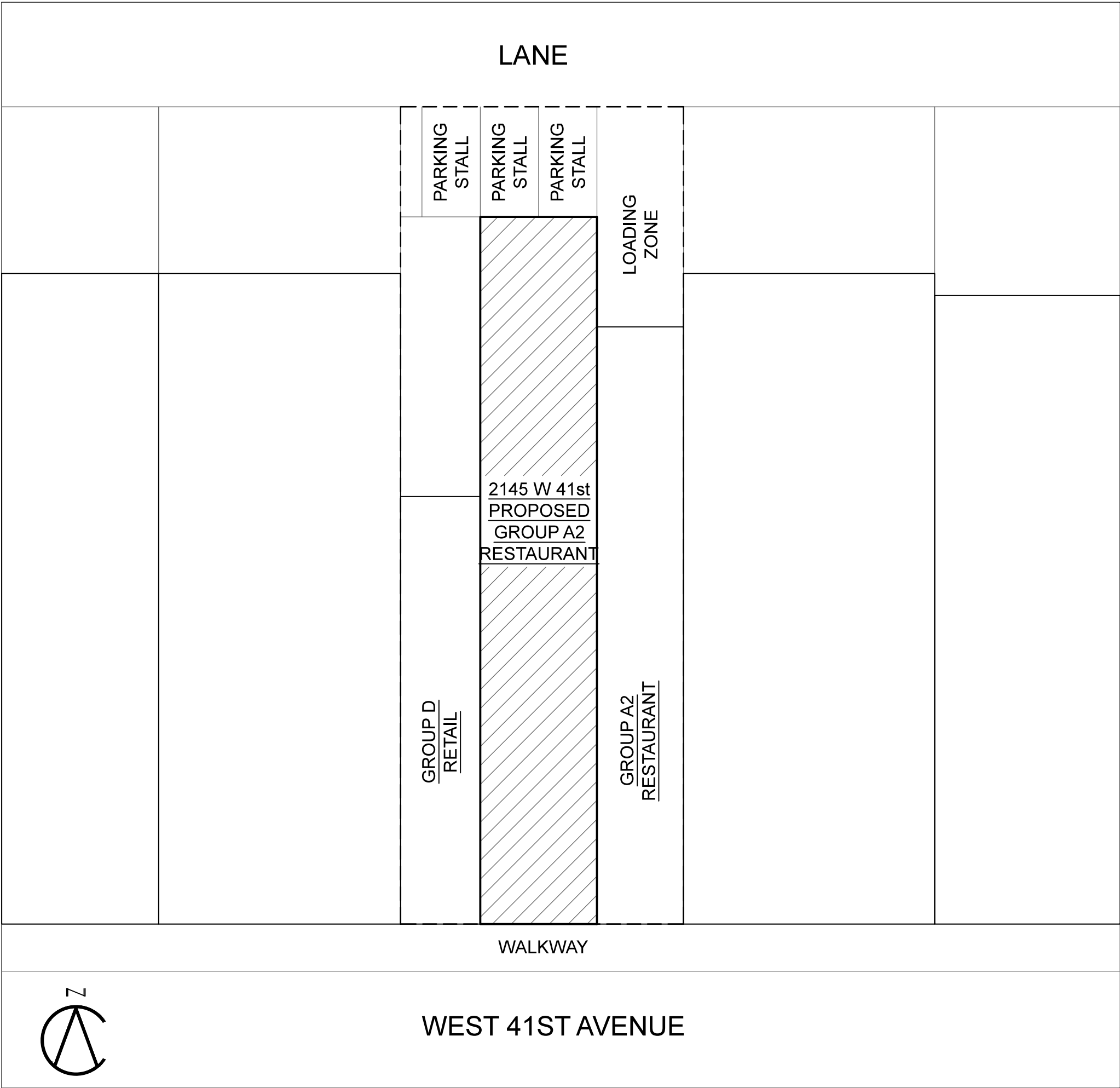
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ENERGY CONSULTANT
FOCAL ENGINEERING
2ND FL., 467 JOHN ST.
VICTORIA, BC, CANADA
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PART 11 ANALYSIS - DESIGN UPGRADE LEVEL (MINOR RENOVATION)

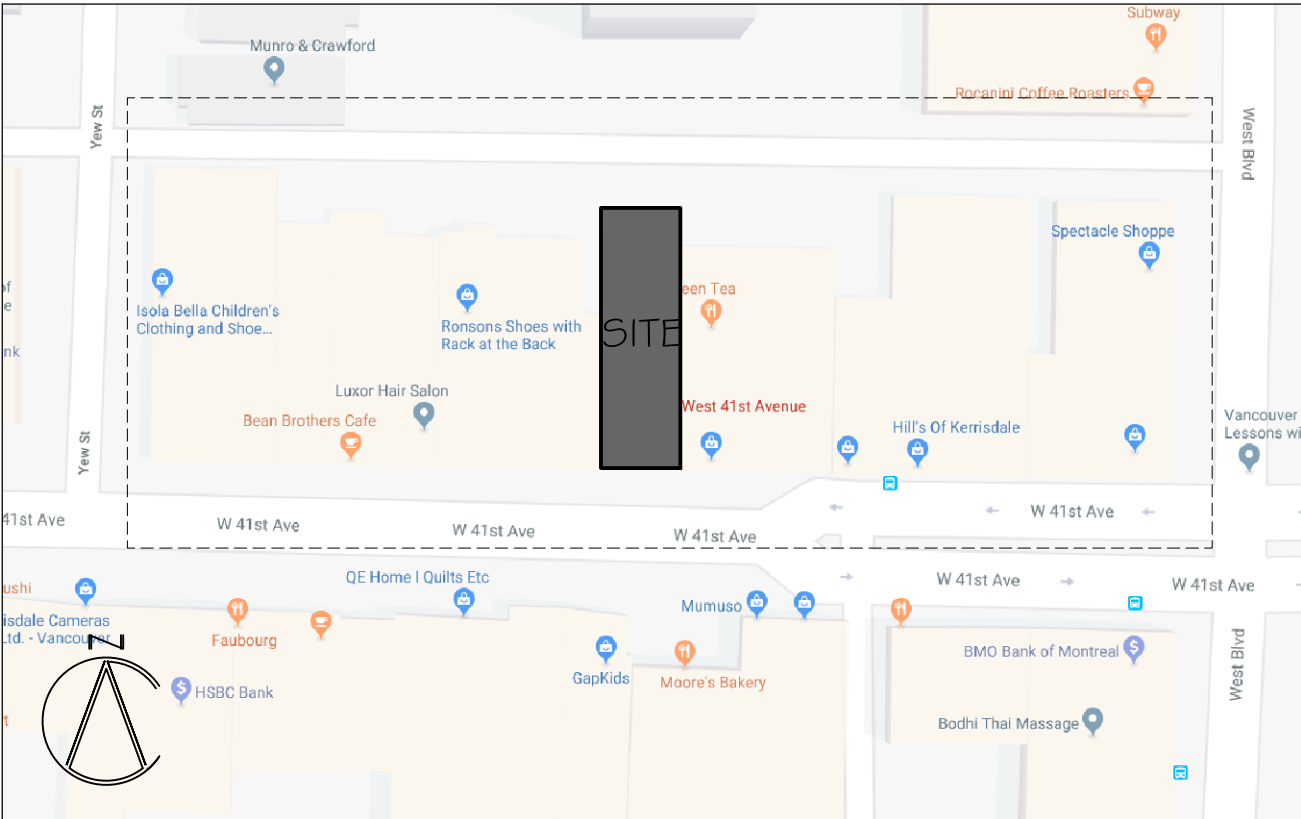
	DESIGN LEVEL		SOLUTION
	MAJOR RENO.	CHANGE OF USE	
FIRE / LIFE HEALTH SAFTY	F2	F1	ALARMS AND DETECTORS (ONLY WHERE EXISTING DEVICES ARE PROVIDED), EMERGENCY LIGHTS, ACCESS TO EXIT, EXITS, EXIT SIGNS, AND EXIT LIGHTS.
STRUCTURAL	S2	S1	NON-STRUCTURAL ELEMENTS AND FALLING HAZARDS MUST BE RESTRAINED TO RESIST LATERAL LOADS DUE TO EARTHQUAKES WITHIN THE PROJECT AREA.
NON-STRUCTURAL	N3	N1	RESTRAIN INTERIOR PARTITION WALLS. RESTRAIN ALL CEILING SUPPORTING, FRAMES, T-BARS ASSEMBLIES, CEILING GYPSUM WALL BOARDS, ALL OVERHEAD MECHANICAL DUCTS, ND EQUIPMENT, OVERHEAD ELECTRICAL CONDUITS AND LIGHTS.
ACCESSIBILITY	A3	A1	DOOR CLEARANCES, DOOR HARDWARE, ACCESSIBLE WASHROOMS, AND AREAS OF REFUGE.
ENERGY	E4	E1	L4 - SWH - UPGRADE ALL SWH EQUIPMNET EFFICIENCY (PER 7.4.2. OF ASHRAE 90.1-2016)



AREA PLAN (N.T.S.)

BUILDING CODE ANALYSIS

BUILDING CODE	VBBL 2014 - PART 3
TYPE OF CONSTRUCTION	CONCRETE CONSTRUCTION
CONSTRUCTION TYPE CLASSIFICATION	NON-COMBUSTIBLE
FIRE FIGHTING	SPRINKLERED - NFPA 13
FIRE ALARM	YES
FACING NO OF STREETS	1
NO OF STOREY	1
PROPOSED USE - MAJOR RENOVATION	
MAJOR OCCUPANCY	A2 (ASSEMBLY)
BUILDING CLASSIFICATION	3.2.2.25. GROUP A, DIVISION 2, UP TO 2 STOREYS
FIRE RATING REQUIREMENTS	
FLOOR	> 45 MIN.
MEZZANINE	> 45 MIN.
ROOF	> 45 MIN.
LOADBEARING STRUCTURE	> 45 MIN.
PARTY WALL	2 HOUR
SPATIAL SEPARATION	
NORTH	ADJACENT OCCUPANCY
SOUTH	N/A
EAST	N/A
WEST	D
	A2
OCCUPANT LOAD CALCULATION	
PROPOSED UNIT	ft²
	1,777
OCCUPANT LOAD (ASSEMBLY) [3.1.17.1]	
OCCUPANT LOAD (TOTAL)	
MINIMUM EXIT WIDTH	
NUMBER OF WATER CLOSET REQUIRED [3.7.2.2.A] [3.7.2.2.B]:	
NUMBER OF WATER CLOSET PROVIDED [3.7.2.2.B]:	
EXIT CORRIDOR:	
DEAD END CORRIDOR:	1,100 mm (3'-8")
EXIT DOOR [3.3.1.13]:	6 m (19'-9")
HEADROOM:	813 mm (2'-8")
MAXIMUM TRAVEL DISTANCE (2 EXITS):	2100 mm (6'-8")
	45 m (147'-7")
EXIT SIGNS [3.4.5.1]:	
RELEASE HARDWARE:	
DOORS OPERABLE FROM INSIDE [3.4.6.16]:	
LIGHTING AND EMERGENCY POWER LIGHTING FOR EXITS [3.2.7.1]:	
EMERGENCY LIGHTING [3.2.7.3]:	
EMERGENCY POWER FOR LIGHTING [3.2.7.4]:	



CONTEXT PLAN (N.T.S.)

WALL DETAIL NOTES

- NOTES - WALL TYPES AND RATED HORIZONTAL SHAFTWALLING
- REFER TO WALL TYPE SCHEDULE FOR WALL TYPE CODE EXPLANATION
 - DEMISING WALLS: SUITE/CORRIDOR AND SUITE/SUITE SHALL BE FIRE RESISTIVE ACOUSTIC SEALANT SEALED CONTINUOUS TO ENTIRE PERIMETER, INCLUDING TOPS AND BOTTOMS F WALLS ALSO. PROVIDE ONE SEALANT BEAD FOR EACH GWB LAYER. PROVIDE ACOUSTIC BATT INSULATION TO DEMISING WALL STUD CAVITIES AS INDICATED.
 - INSTALL FIRE-RATED GWB-X FINISH CONTINUOUS PAST PARTITION FRAMING WHERE INTERNAL PARTITIONS ABUT INTO FIRE RATED WALLS.
 - ALL WALLS AND FURRINGS TO BE BUILT FULL HEIGHT BETWEEN FLOOR SLABS UNLESS NOTED OTHERWISE.
 - ALL WALLS CONTAINING PLUMBING LINES SHALL HAVE ACOUSTIC BATT INSULATION TO MAXIMUM THICKNESS PERMITTED BY WALL TYPE.
 - INSTALL ACOUSTICAL INSULATION IN ALL PIPE CHASES AND ALL SUSPENDED BATHROOM CEILINGS AND ALL OTHER HORIZONTAL PLUMBING FURRINGS.
 - PROVIDE FIRESTOP WITH APPROVED FLEXIBLE MATERIAL AS SPECIFIED IN ALL PIPES, DUCTS AND CONDUITS WHERE THEY PENETRATE ALL FLOORS, SHAFT WALLS AND ALL OTHER FIRE-RATED WALLS CONSTRUCTED OF DRYWALL, CONCRETE AND/OR CONCRETE BLOCK.
 - INSTALL "DENS-SHIELD" MOISTURE RESISTANT GWB FULL HEIGHT AT BATHTUB AND SHOWER ENCLOSURES, REFER TO DETAIL.
 - WHERE FIRE-RATED WALL TYPES FORM SHOWER AND BATHTUB ENCLOSURES, "WONDERBOARD" OR "DENS-SHIELD" RESPECTIVELY, SHALL BE APPLIED OVER AND IN ADDITION TO THE TOTAL DESIGNATED FIRE-RATED WALL ASSEMBLY, REFER TO DETAIL.
 - ALL FIRE-RESISTANT RATED WALLS: INSTALL ALL GYPSUM WALLBOARD PANELS, LONG SIDES VERTICALLY & PARALLEL WITH VERTICAL STUDS AND IN FULL ACCORDANCE WITH ULC LISTING.
 - ALL STAND-OFF FURRING ALLS TO BE MECHANICALLY BRACE BACK TO SUBSTRATE WITH BENT SHEET METAL AT MIN. 1/3 HEIGHT POINTS.
 - USE ULC LABELED WALLBOARD FOR ALL IRE RATED PARTITIONS.
 - PENETRATIONS AND OPENINGS FOR M/E SERVICES THROUGH FIRE RATED GWB ASSEMBLIES TO BE CONSTRUCTED IN STRICT ACCORDANCE WITH ULC LISTING REQUIREMENTS AND TO THE SATISFACTION OF CITY OF VANCOUVER BUILDING INSPECTION REQUIREMENTS.
 - ALL ELECTRICAL OUTLETS IN SUITE TO SUITE DEMISING WALLS TO BE STAGGERED SO AS TO BE LOCATED N SEPARATE STUD COMPARTMENTS AND ALL BOXES SEALED TO CONDUIT AND GWB.
 - ALL GYPSUM WALLBOARD IN RATED ASSEMBLIES TO BE TYPE X.
 - ALL HORIZONTAL SHAFTWALL TYPES TO BE CONSTRUCTED PER THE TYPE "E" WALL SCHEDULED ON THIS DRAWING, BUT WITH ONE ADDITIONAL LAYER 12MM TYPE X GWB.

GENERAL NOTES

- ALL ELECTRICAL & MECHANICAL (HVAC + PLUMBING) DRAWINGS & WORK ARE TO BE PROVIDED BY CERTIFIED WORKER / ELECTRICIAN & PLUMBER OR ENGINEER.
- ALL DIMENSIONS SHOWN ON THE DRAWINGS MUST BE CONFIRMED ON SITE BEFORE WORK STARTS.
- ANY CHANGES (INCLUDES BUT NOT LIMITED TO PRICE, QUALITY, QUANTITIES, COLOURS, LOCATION & ETC.) ON THIS DRAWINGS AFTER THE WORK STARTED MUST BE APPROVED BY CLIENT AND DESIGNER'S SITE INSTRUCTION.
- THE DRAWINGS ARE NOT PERMITTED TO ANY CHANGES WITHOUT CLIENT AND DESIGNER'S SITE INSTRUCTIONS & APPROVAL.
- RATED WALLS SHALL COMPLY W/ UBC TABLE 7B ASSEMBLY #16-1.3 OR UL DESIGN #U420
- ALL MECHANICAL & PLUMBING PENETRATION THROUGH A FIRE RATED ALL SHOULD HAVE 2 HRS FIRE CAULKING AROUND THE PIPE OR HAS FIRE DAMPER APPLIED ON DUCT WORK, SEE MECHANICAL DRAWING FOR DETAIL.
- WORKS ARE REQUIRED TO COMPLY WITH BRITISH COLUMBIA BUILDING CODE, LATEST ADDITION.

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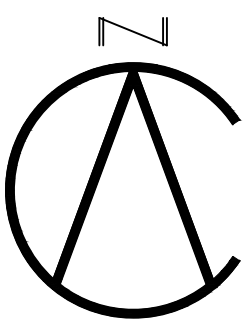
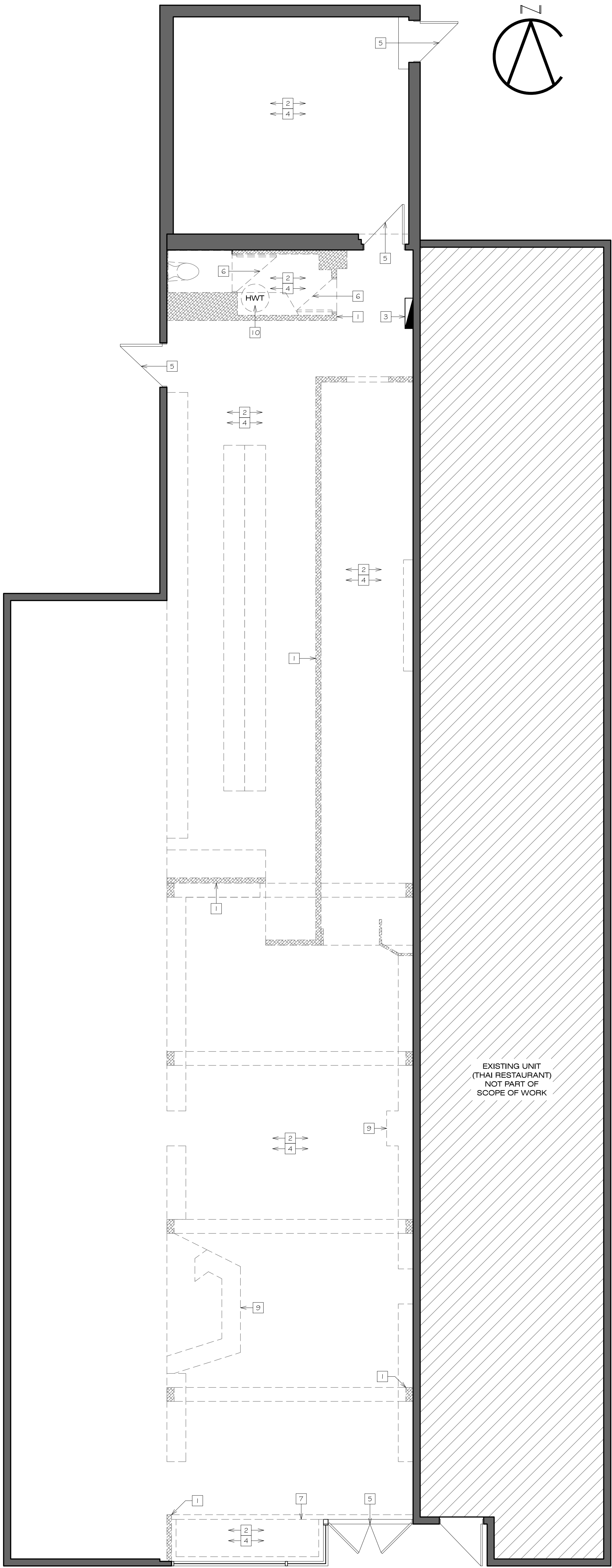
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COVER SHEET & GENERAL NOTES

DATE	MAY. 21, 2019	ID 0.0
DRAWN	A.N./A.H.	
SCALE	N.T.S.	
JOB NO	1917	
		OF 6 SHEETS



DEMOLITION NOTES

1. CONTRACTOR TO ASSUME RESPONSIBILITY FOR SAFE AND LEGAL DISPOSAL OF ALL WASTE MATERIALS GENERATED UNDER THIS CONTRACT.
2. TENANT WILL REMOVE ALL EXISTING TENANT IMPROVEMENTS NOT INTENDED FOR REUSE.
3. ALL WORK FOR THIS PREMISE IS TO BE PERFORMED BY THE TENANT AT THE TENANT'S EXPENSE.
4. ANY WORK AFFECTING LANDLORD BASE BUILDING - SUCH AS SPRINKLER SYSTEM, HVAC, SYSTEM, ROOF WORK, TILE WORK, OUTSIDE OF LEASED AREA OR ELECTRICAL WORK OUTSIDE OF LEASED AREA WILL BE REQUIRED TO BE PERFORMED BY A LANDLORD DESIGNATED OR LANDLORD APPROVED CONTRACTOR AND BE ENGAGED BY THE TENANT.

DEMOLITION LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL PARTITION TO BE REMOVED.
- EXISTING DOOR TO BE REMOVED.
- HOT WATER TANK TO BE RELOCATED.
- NOTE REFERENCE.
- EXISTING WINDOW TO REMAIN.

DEMOLITION PLAN NOTES

- 1 REMOVE EXISTING WALL AS INDICATED TO ACCOMMODATE NEW LAYOUT.
- 2 PATCH, REPAIR, AND SKIM COAT EXISTING WALLS AND MAKE READY TO ACCEPT NEW FINISHES. REFER TO ID 1.6.
- 3 EXISTING ELECTRICAL PANEL TO REMAIN.
- 4 REMOVE EXISTING FLOOR FINISHES AND MAKE READY TO ACCEPT NEW FINISHES. REFER TO ID 1.6.
- 5 EXISTING DOOR TO REMAIN.
- 6 EXISTING DOOR TO BE REMOVED.
- 7 EXISTING STOREFRONT GLAZING TO REMAIN.
- 8 EXISTING SILL PLATFORM TO BE REMOVED. REFER O ID 1.1 FOR NEW LAYOUT.
- 9 EXISTING COUNTER AND MILLWORK TO BE REMOVED.
- 10 EXISTING HOT WATER TANK TO BE RELOCATED. G.C. TO VERIFY THE CONDITION OF THE EXISTING HOT WATER TANK AND REPLACE AS REQUIRED.

EXISTING UNIT
(THAI RESTAURANT)
NOT PART OF
SCOPE OF WORK

1
ID 1.0
DEMOLITION PLAN

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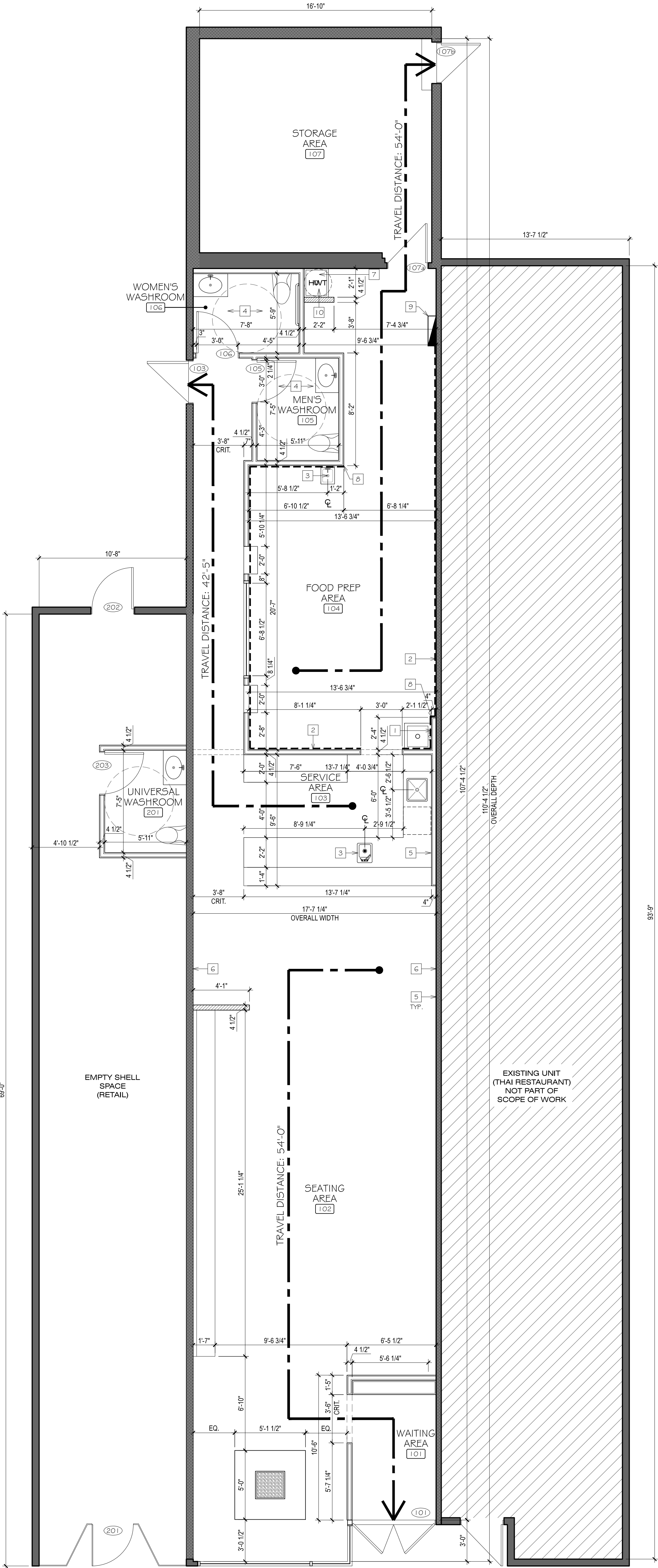
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DEMOLITION PLAN

DATE: MAY 21, 2019
DRAWN: ANJAL H.
SCALE: 1/4" = 1'-0" UNO.
JOB NO. 1917
ID 1.0
OF 8 SHEETS



1
ID 1.1

CONSTRUCTION PLAN

SYMBOL LEGEND	
<div>#</div>	DOOR NUMBER
<div>#</div>	NOTE REFERENCE
<div>ROOM NAME #</div>	ROOM NAME & NUMBER
	EXISTING DOOR AND FRAME TO REMAIN. REPAINT DOOR & DOOR FRAME. REFER TO SHEET ID 1.6
	PROPOSED DOOR & FRAME. REFER TO ID 1.6

WALL TYPE LEGEND	
	EXISTING WALL TO REMAIN.
	EXISTING 2HR FIRE RATED DEMISING WALL TO REMAIN.
	1 LAYER 1/2" GYPSUM BOARD (BOTH SIDES) OF 3-5/8" METAL STUDS @ 16" O.C. EXTEND TO U/S OF DECK. GYPSUM BOARD TO EXTEND TO 4" ABOVE CEILING. FINISH WALLS AS PER SCHEDULE. REFER TO SHEET ID 1.6.
	1 LAYER 1/2" GYPSUM BOARD (BOTH SIDES) OF 5-1/2" METAL STUDS @ 16" O.C. EXTEND TO U/S OF DECK. GYPSUM BOARD TO EXTEND TO 4" ABOVE CEILING. FINISH WALLS AS PER SCHEDULE. REFER TO SHEET ID 1.6. LOW WALL TO EXTEND TO 4" A.F.F. 1-1/2" BRICK VENEER ON 1 LAYER 1/2"
	DOTTED LINE INDICATES LOCATION OF STAINLESS STEEL WALL PANEL.
GENERAL NOTES:	
1. PROVIDE FIRE CAULKING AT ALL PIPES, CONDUITS, WIRES AND FRAMING PENETRATIONS THROUGH FIRE RATED SEPARATIONS. HILTI CANADA FS-ONE INTUMESCENT FIRESTOP SEALANT, HILTI CANADA 1-800-363-4458.	

DOOR & HARDWARE SCHEDULE				
No.	SIZE	TYPE	FINISH	REMARK
(101)	(2) 36" X 84"	EXISTING FRONT DOOR	EXISTING	EXISTING FRONT DOOR. VERIFY THAT MECHANICAL IS IN WORKING ORDER AND REPLACE AS REQUIRED.
(103)	36" X 84"	EXISTING DOOR	EXISTING	EXISTING DOOR. VERIFY THAT MECHANICAL IS IN WORKING ORDER AND REPLACE AS REQUIRED.
(105)	34" X 84"	SOLID WOOD	PAINT GRADE	PRIVACY LOCKSET
(106)	34" X 84"	SOLID WOOD	PAINT GRADE	PRIVACY LOCKSET
(107a)	34" X 84"	EXISTING INTERIOR DOOR	EXISTING	EXISTING DOOR. VERIFY THAT MECHANICAL IS IN WORKING ORDER AND REPLACE AS REQUIRED.
(107b)	34" X 84"	EXISTING DOOR	EXISTING	EXISTING DOOR. VERIFY THAT MECHANICAL IS IN WORKING ORDER AND REPLACE AS REQUIRED.
(201)	34" X 84"	FRONT DOOR	GLASS	STOREFRONT LOCKSET, (ELECTRICALLY OPERATED)
(202)	34" X 84"	EXIT DOOR	HOLLOW METAL	STOREFRONT LOCKSET.
(203)	34" X 84"	SOLID WOOD	PAINT GRADE	PRIVACY LOCKSET

FLOOR PLAN NOTES	
1	FURR OUT WALL W/ 1 LAYER 1/2" GYPSUM BOARD ON 3-5/8" METAL STUDS @ 16" O.C. CARRY STUDS & GYPSUM BOARD TO 4" ABOVE CEILING.
2	PROVIDE BACKING IN WALL AS REQUIRED TO SUPPORT SHELF.
3	PAPER TOWEL & SOAP DISPENSER FOR HAND SINK TO BE STAINLESS STEEL FINISH.
4	PROVIDE WATER RESISTANT GYPSUM BOARD IN PUBLIC WASHROOMS. PROVIDE WOOD BACKING AS REQUIRED TO SUPPORT VANITIES AND GRABARS.
5	FURR OUT WALL W/ 1 LAYER 1/2" GYPSUM BOARD ON 3-5/8" METAL STUDS @ 16" O.C. CARRY STUDS & GYPSUM BOARD TO U/S OF CEILING.
6	PROPOSED DEMISING WALL TO BE 2HR FIRE RATED. CONTRACTOR TO CONFIRM WALL IS 2HR FIRE RATED BEFORE CONTINUING WITH CONSTRUCTION.
7	PROPOSED SURFACE MOUNTED MOP SINK.
8	INSTALLED 1-1/2" x 1-1/2" PLASTIC CORNER GUARDS FROM FRP SUPPLIER ON ALL OUTSIDE CORNERS.
9	EXISTING ELECTRICAL PANEL TO REMAIN.
10	HOT WATER TANK ABOVE MOP SINK TO BE PLACED ON PLATFORM 48" A.F.F.

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